



## WELLINGTON ROAD CONSERVATION AREA APPRAISAL AND MANAGEMENT PLAN

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### APPENDICES

Prepared for Wirral Council by Donald Insall Associates Ltd, 2007 – Wirral 2009

## CONTENTS

### APPENDICES

- Appendix A - Building Descriptions
- Appendix B - Plan Showing Existing Boundary and Listed Buildings
- Appendix C - Plan Showing Relative Ages of Buildings
- Appendix D - Plan Showing Contribution of Buildings to Character of Area
- Appendix E - Historic Plans

## **APPENDIX A -**

### **TABLE SHOWING BUILDING DESCRIPTIONS AND PHOTO REFERENCES**

- A: (Red) – Buildings that are critical to the character of the area: typically these may be landmark buildings and / or buildings with most of their original character retained
- B: (Yellow) – Buildings that contribute positively to the character of the conservation area: buildings may have some alterations but original character is still prominent
- C: (Green) – Neutral - Either modern buildings of little interest or buildings where character has been lost beyond economic redemption.
- D: (Blue) – Buildings that detract from the significance or character of the area.

It should be noted that each category inevitably encompasses a wide range of building types and qualities. Category C, for instance includes historically interesting buildings that have been altered as well as less important / more modern buildings in good condition.

Each building is judged individually or within their immediate 'group' context. Whilst category C buildings are generally considered of 'neutral' interest, (indicating they have neither an overriding positive or negative influence on the conservation area) if there are too many, the interest of the area could be diluted, therefore they would have a detrimental effect. The prominence of a building is also considered as a poorly designed building can have a limited

There should be a general presumption in favour of retaining all category A and B buildings. Policies should be put in place to encourage the enhancement of, in particular, category B and C buildings. Category D buildings are considered of negative value therefore opportunities should be sought to achieve their replacements or at least improvement.

Where buildings' features are thought to be in their original form, they are stated for the sake of brevity as being original, although of course it is impossible to make a judgement during this depth of study as to whether or not the fabric of the element is actually contemporary with the building.

## WELLINGTON ROAD CONSERVATION AREA APPRAISAL & MANAGEMENT PLAN

NO. / NAME	WIRRAL UPRN	PHOTO REF.	DESCRIPTION	CONDITION / COMMENT	CONTRIBUTION
<b>KINGS PARADE</b>					
Entrance to Gardens		104	Rendered block on brick, single storey flat roof.	Unattractive when closed up, restoration potential	B
RNLI Building		016	Single storey, light brown brick with profiled metal roof, large red doors.	Good utilitarian building. Bright colours appropriate.	C
Bus Shelters		017	Modern reproduction, Victorian steel and glass.	Good condition, slightly fussy design.	C
Marine Park Pavilion		125	Timber framed and timber clad with renewed artificial slate roof. Green and white paintwork.	Good simple bold design. Important to keep up maintenance standards.	B
<b>ROWSON STREET</b>					
Gates to Marine Park Gardens		711 006	4 sandstone gate piers with central pair of gates and fixed side panels in corrugated iron.	Attractive 'set piece' entrance, conservation of stone and iron required. Avoid unsightly obstructions.	B

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NO. / NAME	WIRRAL UPRN	PHOTO REF.	DESCRIPTION	CONDITION / COMMENT	CONTRIBUTION
<b>PORTLAND STREET</b>					
No. 2 House next to gardens		711 040	Red/purple brick bungalow with artificial slate roof. UPVC windows. Prominent red garage door.	Unexceptional design but spoiled by high security fence and gate.	C
<b>WELLINGTON ROAD</b>					
1 – 8 Marine Park Mansions		024	4 storey brick and painted stone apartment block with imitation timber frame upper floors.	Good condition, currently being refurbished.	B
Belgravia Hotel		026	Construction as 1-8 windows have been reduced in height.	Generally in good condition. Reduced height windows detrimental.	B
17-24 Marine Park Mansions		028	Construction as 1-8	In need of external redecoration but generally good. Unpainted masonry on this block which is preferable.	B
26 – 35 Marine Park Mansions		030	Mirror image of nos. 1-8	Fair condition. Re-painted stonework is failing due to trapped moisture.	B

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NO. / NAME	WIRRAL UPRN	PHOTO REF.	DESCRIPTION	CONDITION / COMMENT	CONTRIBUTION
22 – 30 Wellington Road		033	2 storey front / 3 storey back rendered masonry with slate roof, classical detailing.	Good condition, well maintained very positive contribution to conservation area.	A (listed)
26 Wellington Road		036	1 storey front / 2 storey back rendered masonry with slate roof, fine classical detailing.	Good condition, well maintained very positive contribution to conservation area. Significant front fencing.	A (listed)
28 Wellington Road		039	2 storey front 3 storey back rendered masonry with slate roof. Gothic style details.	Good condition – recently refurbished very positive contribution to conservation area, significant front fence.	A (listed)
30 Wellington Road		041	2 storey front 3 storey back rendered masonry with slate roof. Gothic style details.	Good condition – recently refurbished very positive contribution to conservation area, significant front fence.	A (listed)
Redcliffe		047	2 storey front, 3 storey back. Red sandstone with slate roof. Victorian ‘Tudor’ style. Heavily altered and modern extension.	Rare building by H.L. Elmes. Requires careful restoration and elimination of unsatisfactory alterations.	A (listed)
36 Wellington Road		051	2 storey rendered masonry with slate roof. Elaborate barge boards, classical detail.	Good condition with delightful and unusual details. Good fence (grouped with 38B – 40)	A (listed)
38 Wellington Road		052	2 storey front, 3 storey rear, rendered masonry with slate roof. Symmetrical four-square Italianate design.	Good condition, attractive colours, good fence, piers and gates. Beware simplified UPVC windows.	A (listed)
40 Wellington Road		053	Mirror to no. 36. Good ‘tent-style’ barge boards to rear of both.	Restoration in progress.	A (listed)

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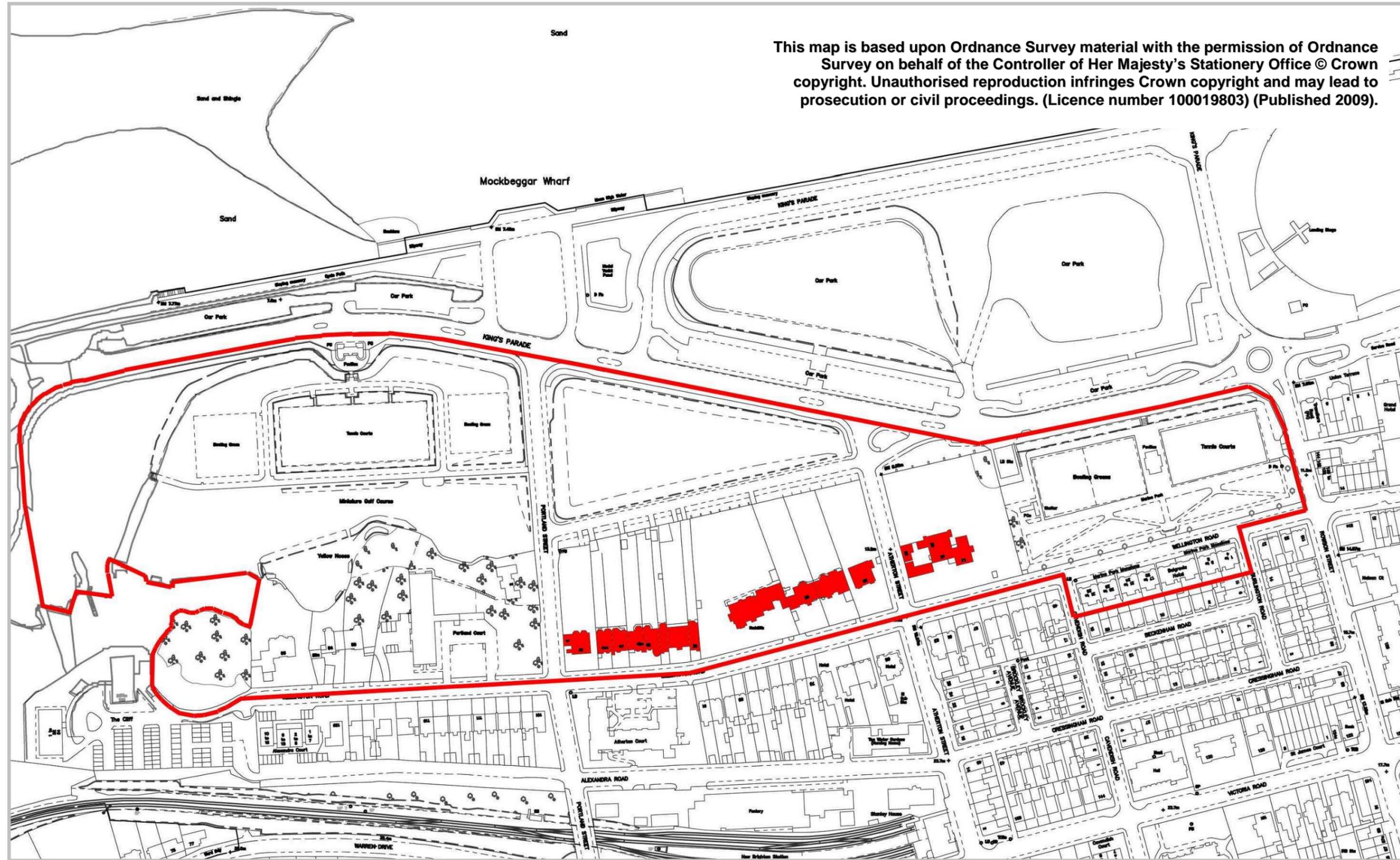
NO. / NAME	WIRRAL UPRN	PHOTO REF.	DESCRIPTION	CONDITION / COMMENT	CONTRIBUTION
42 Wellington Road		054 / 055	1 storey front, 2 storey rear. Rendered masonry with slate roof. Elaborate plaster details and decorative chimneys.	Good condition, strong colour scheme – but appropriate to marine location, conservatory design could be improved.	A (listed)
42a		056	Similar to 42	Good condition, same details as 42, softer colour scheme, good fencing.	A (listed)
44		057	1-2 storey front, 2 storey rear. Rendered masonry, slate roof, classical details, terracotta parapet.	Good condition, unusual parapet, good fence.	A (listed)
44a		060	Similar to 44 but entrance altered.	Moderate condition, less satisfactory alterations to entrance.	A (listed)
46		061	Single storey front / 2 storey rear. Rendered masonry, slate roof simple refined 'Regency' details.	Good condition, unsatisfactory side porch, stone wall with polygonal gate piers.	A (listed)
Portland Court		065/ 070/ 071/ 072	Six storey apartment block from 1939 brick clad, flat roof, horizontal window bands. Extended entrance canopy, basement garage. Balconies at ends.	Good condition. Good representative of unusual building type.	A
50		073	2-3 storey rendered masonry, slate roof, simple Italianate style.	Moderate condition, flat roof extensions, and replacement windows.	B
54		076	Similar to no. 50	Moderate condition, large flat-roofed dormer is inappropriate.	B

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NO. / NAME	WIRRAL UPRN	PHOTO REF.	DESCRIPTION	CONDITION / COMMENT	CONTRIBUTION
56a		077	Single storey slate roof rendered walls.	Poor condition, untidy drive.	C
56 Rock Villa		078/ 079	2-3 storey slate roof over white rendered masonry. Attractive conservatory.	Good condition replacement windows.	B

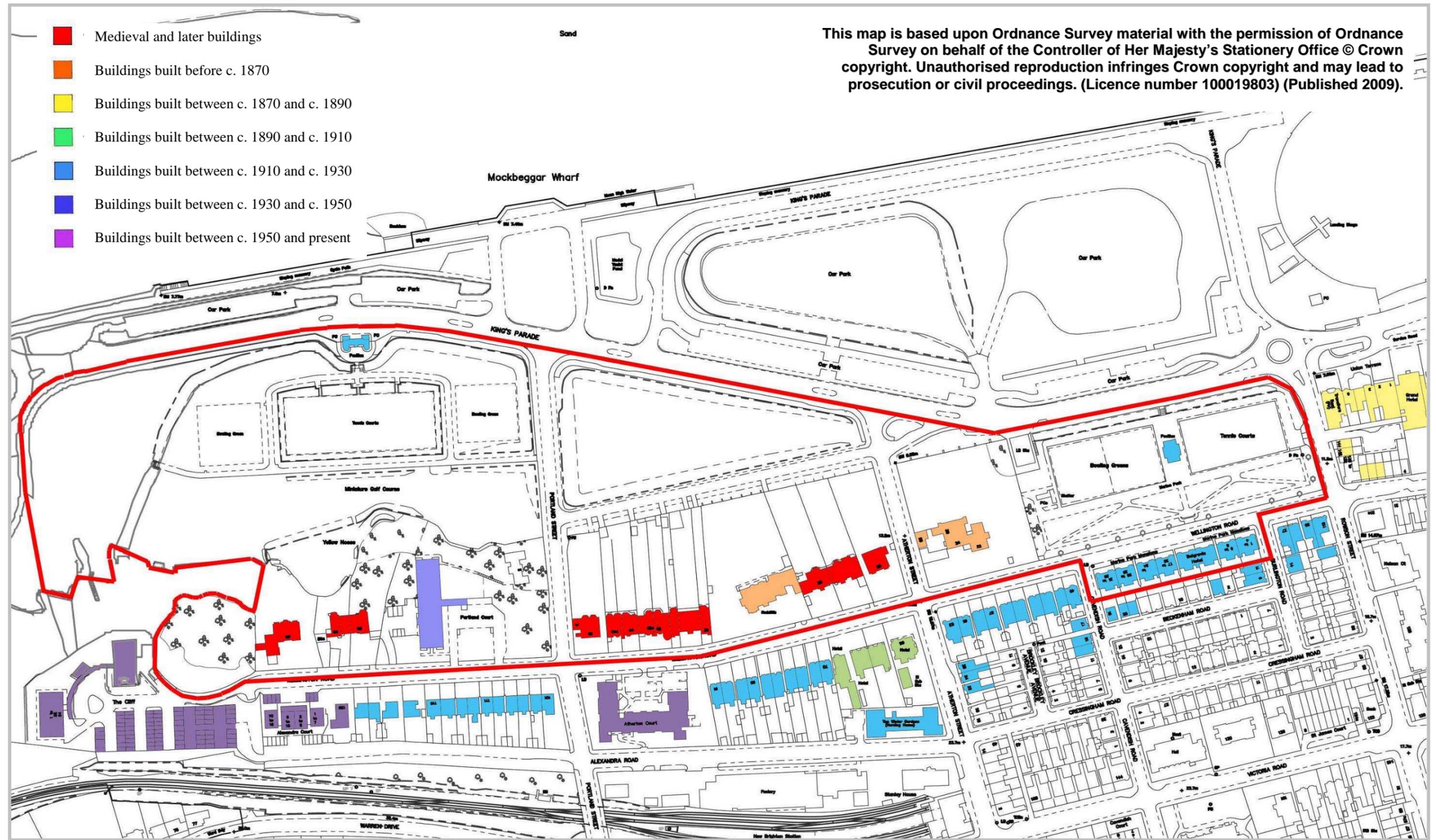


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APPENDIX B – PLAN SHOWING CONSERVATION AREA BOUNDARIES AND LISTED BUILDINGS

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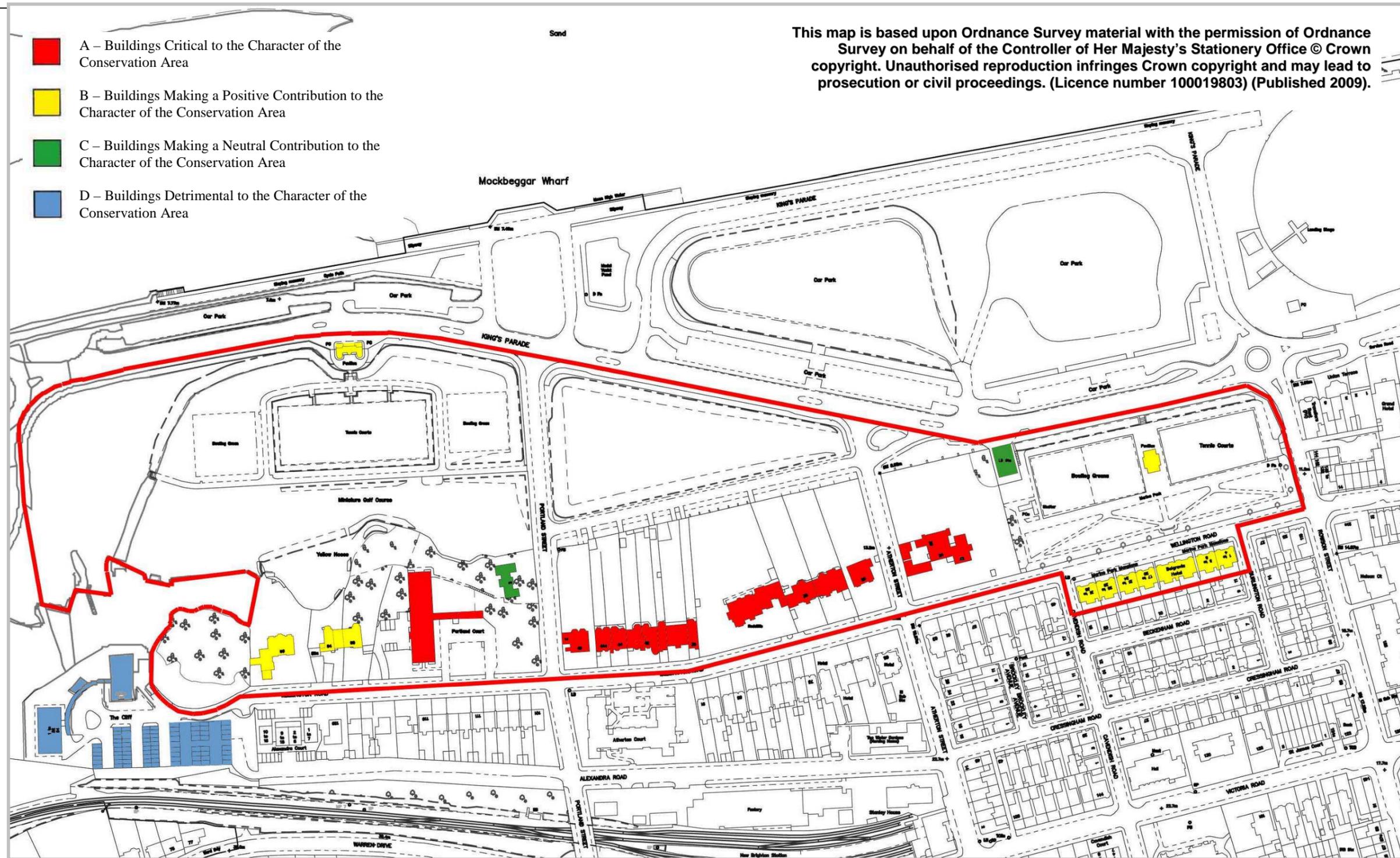


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APPENDIX C – PLAN SHOWING RELATIVE AGES OF BUILDINGS WITHIN THE CONSERVATION AREA

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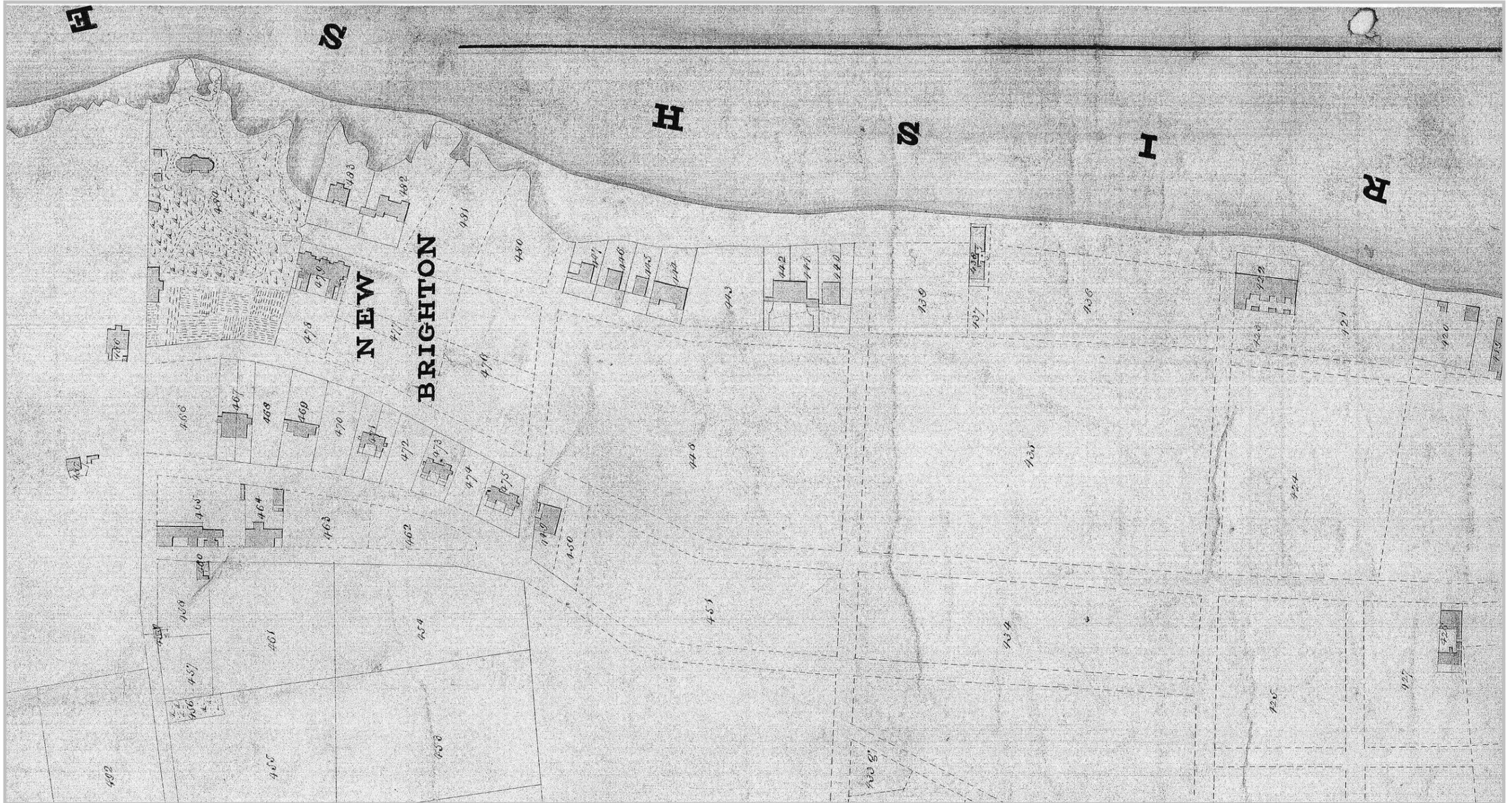
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APPENDIX D – PLAN SHOWING BUILDING CONTRIBUTIONS

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APPENDIX E1 – HISTORIC MAPS – TITHE MAP

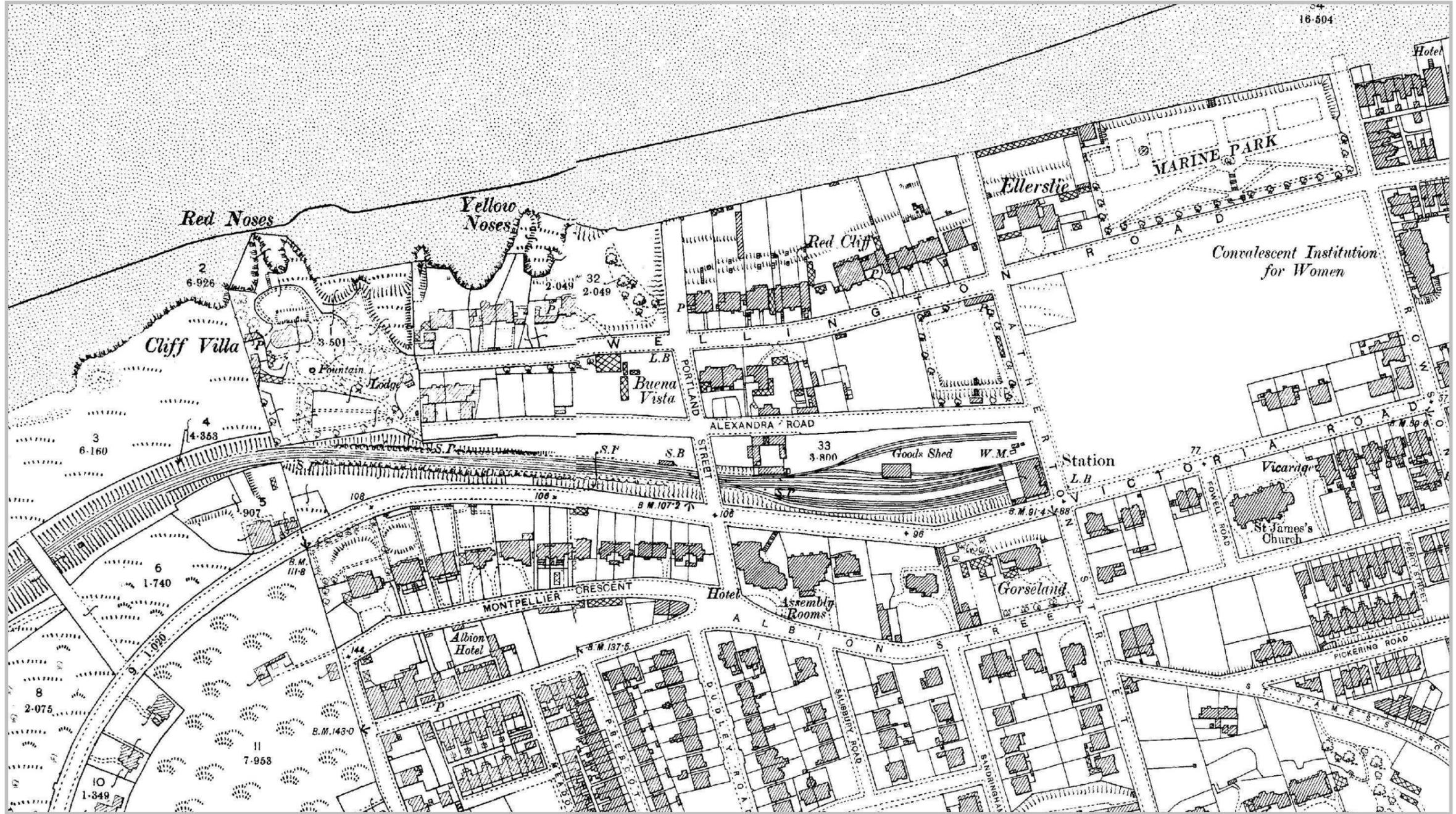
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APPENDIX E2 – HISTORIC MAPS – 1870S OS MAP

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APPENDIX E3 – HISTORIC MAPS – 1890S OS MAP

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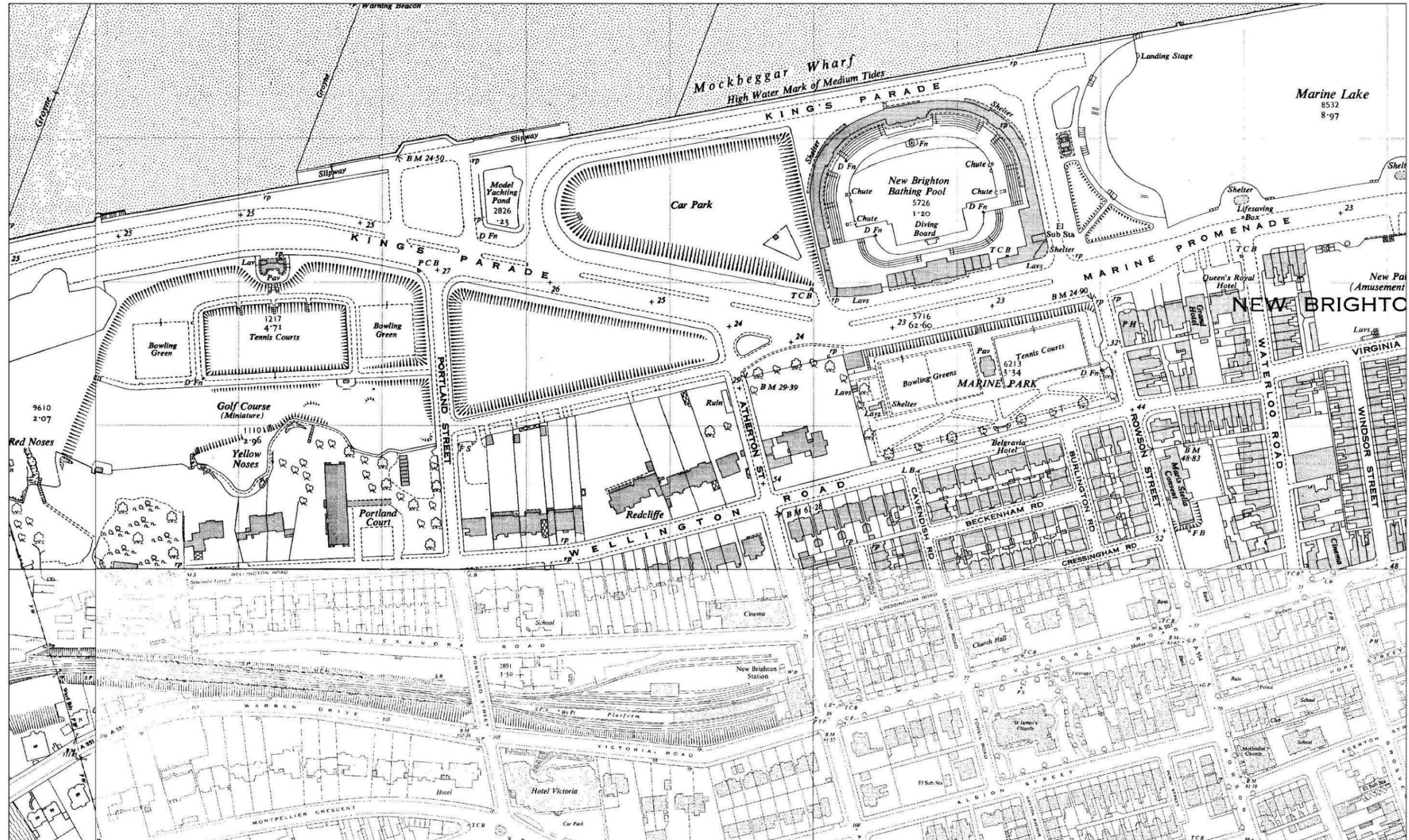


WELLINGTON ROAD CONSERVATION AREA APPRAISAL AND MANAGEMENT PLAN

APPENDIX E4 – HISTORIC MAPS – 1910S OS MAP

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WELLINGTON ROAD CONSERVATION AREA APPRAISAL AND MANAGEMENT PLAN

APPENDIX E6 – HISTORIC MAPS –1950s OS MAP

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